

General Information

If after consulting this guide you are still unclear as to whether or not your works require Planning Consent or a Building Warrant, please contact the local Planning Service & Building Standards Section for further guidance.

Building Warrant Requirements

If you propose to use the roof space as a bedroom, study or other room, or if you intend to carry out works such as structural alterations, installing a roof light, providing heating, lining walls and ceilings or installing electrical power points you will require to submit an application for a Building Warrant along with detailed plans showing full compliance with the Building Standards.

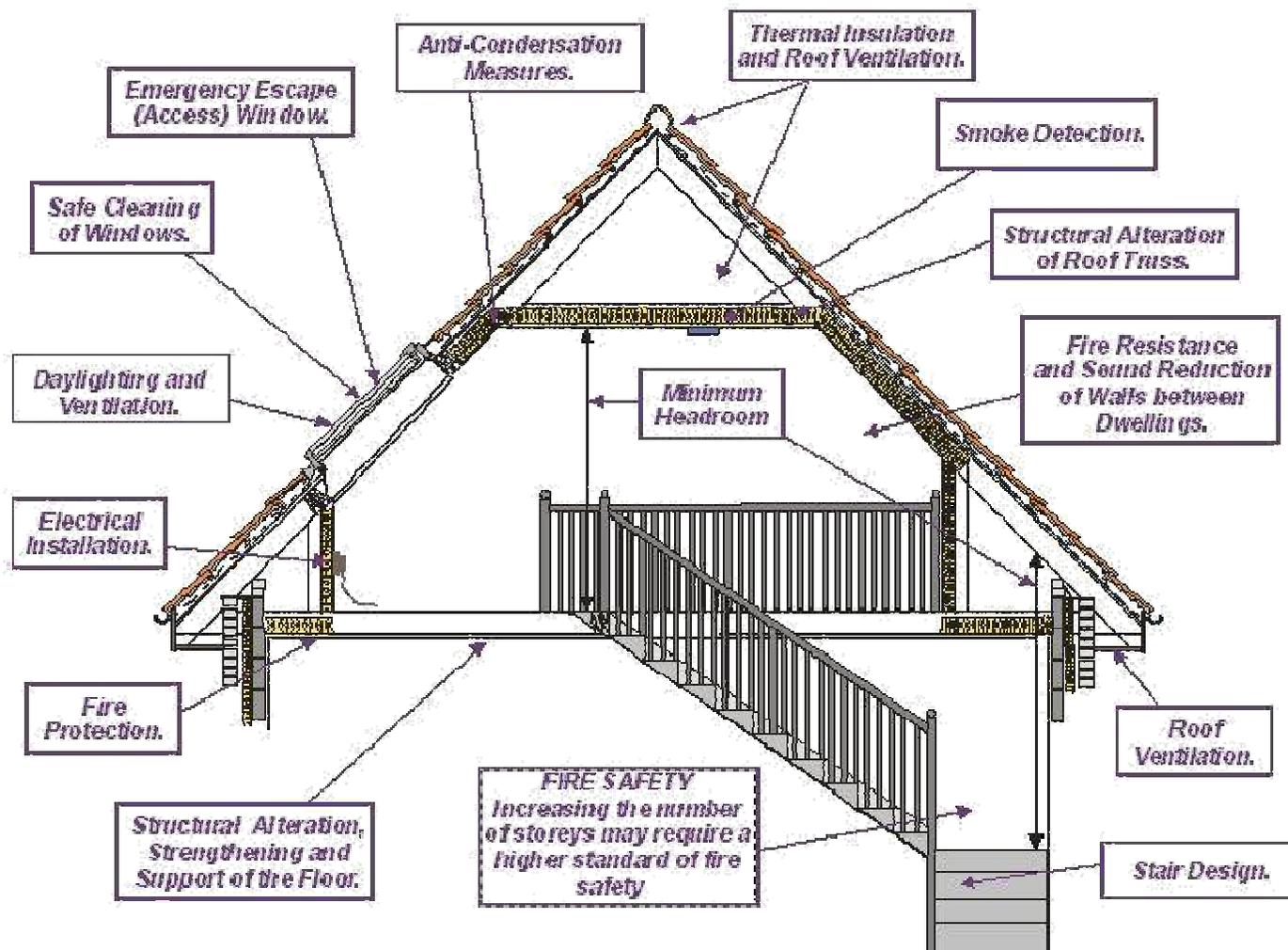
It is important that professional advice is sought and all approvals are obtained from your Council before any work starts.

The illustration on the pages opposite (not to scale) highlights the main parts of the work to be considered by Building Standards such as thermal insulation, ventilation, structural strengthening, fire safety and safe design.

Third Storey?

If you are planning on adding a third storey to a home, which includes adding an extra storey above a flat that is not located on the ground floor, then a warrant will likely be required. As it will be necessary to maintain fire separation to the escape route from the building.

This would mean that measures will have to be taken to protect the escape route. For example by fitting self closing fire doors, a non combustible stair etc.



Please ask to speak to a building standards officer if you would like further advice on adding a third storey.

Warning

If you do not obtain all necessary approvals for work in the roof space, legal problems can arise and the safety of your property and the occupants may be affected. You may also find that difficulties could arise during the sale of your property following a normal property enquiry carried out by a solicitor.

Please Note:

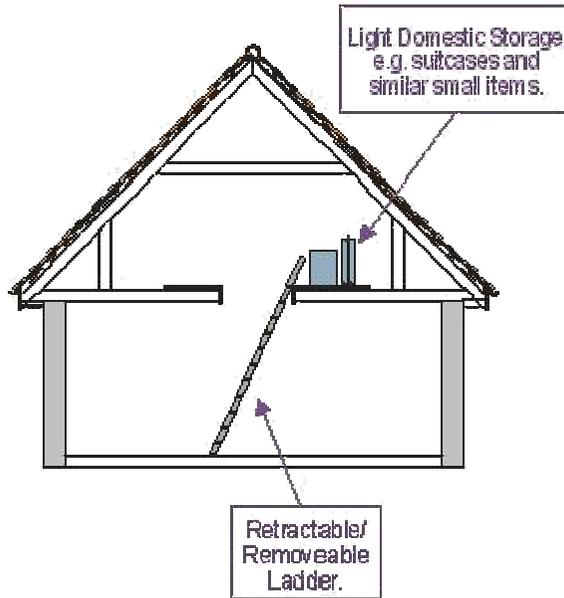
You may also find some of our other leaflets useful if you are considering carrying out loft conversion works. For example, our leaflets on Stairs or Escape Windows.

For information on which types of works to a loft area do not require a Building Warrant or to find out about planning requirements, please turn to the latter pages.

No Building Warrant Required?

For an example of works to the roof space which do not require a warrant, see the description and the illustration shown below.

If you only propose to floor the roof space for light domestic storage without overloading the roof structure, and if access from the lower storey is by way of a retractable/removeable ladder then Building Warrant approval from the Council's Building Standards Service is not required.



Planning Required?

In detached, semi-detached or terraced houses which are not Listed and are not within a Conservation Area, Planning Permission is not required providing:

1. Any roof light does not project more than 100mm above the plane of the roof.
2. Any roof lights do not cover more than 10% of the roof area.

Planning Permission is always required for dormer windows in dwellings and to install roof lights in flats.

Please Note:

Some locations may have restricted development rights. Please contact the local Planning Service for advice, as it could be the case that there may be a restriction which does not permit the redevelopment of your property.

Please note that this leaflet is merely intended to provide supplementary guidance. Should you have any doubts about whether any work requires a Building Warrant or whether it complies with current regulations, please consult the Building Standards Section or Planning Service at the number shown below.

Please also note that works of the nature included in this leaflet may require a Building Warrant.

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Building Standards

Loft Conversions



The purpose of this leaflet is to provide additional guidance on conversion of a roofspace in accordance with the current building regulations.

Please take one.

Should you need further assistance, then please do not hesitate to contact one of our Building Standards officers.

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