



COMHAIRLE NAN EILEAN SIAR

The Town and Country Planning Scotland Act 1997 – Section 36(1)

Town and Country Planning General Development Procedure Order 2013 Regulation 16

Planning Register - Part 1

Application Details

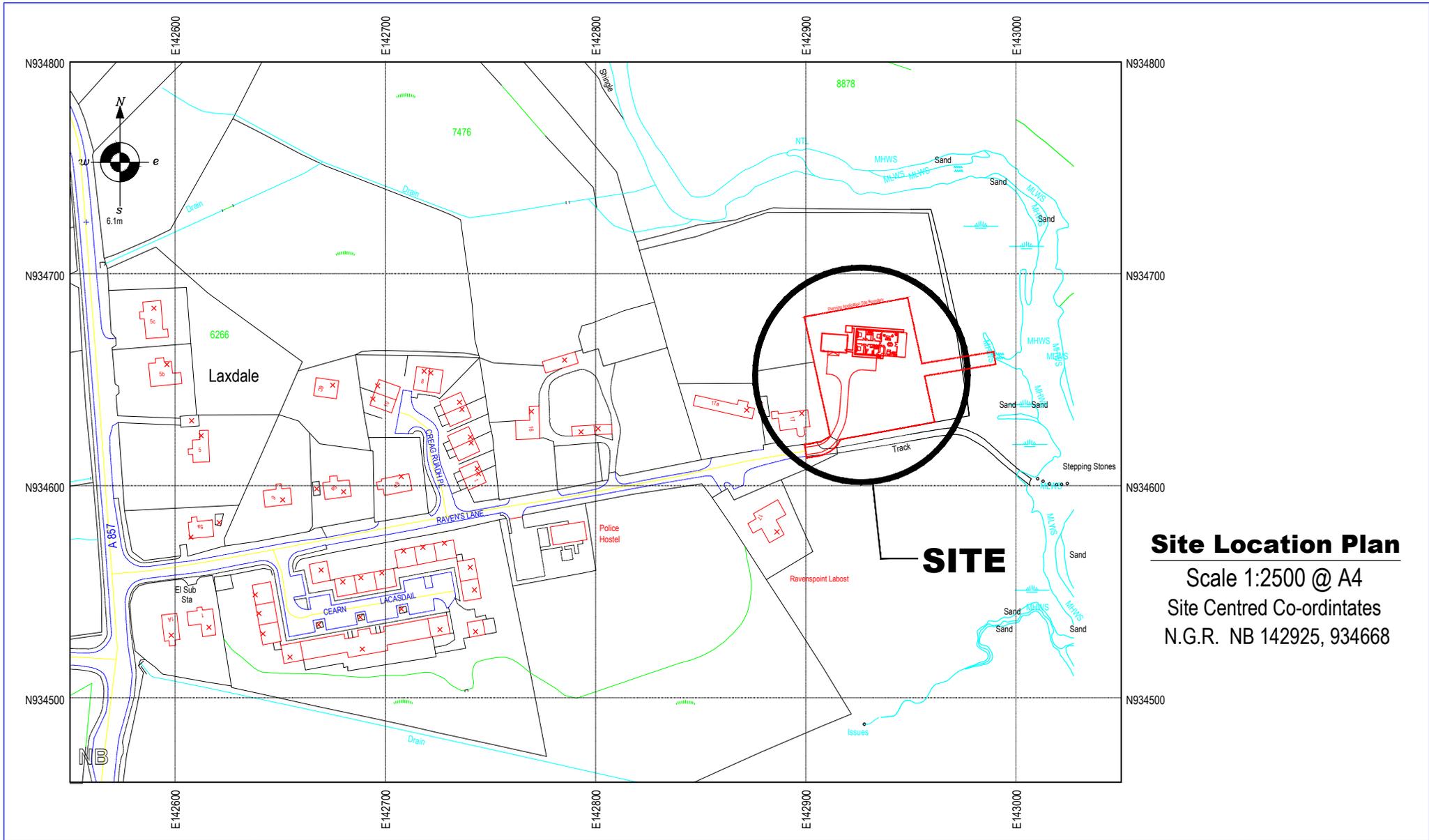
Reference Number	24/00264/PPD
Date registered as valid	30/07/2024
Description of Development	Erect 3-bedroom 1.5 storey house and detached garage; new vehicular access; install private wastewater system; install air source heatpump
Address or description of location to which the development relates	2 Ravens Lane, Laxdale, Isle of Lewis
Applicant Name	Mr Kevin MacNeill
Applicant Address	66C Newmarket, Isle of Lewis, HS2 0DU
Agent name (if applicable)	Mr Alexander Nicolson
Agent address (if applicable)	Nicolson CAD Services, 1 School Park, Knock, Point, Isle of Lewis, HS2 0BS

The above application summary is accompanied by plans and drawings sufficient to describe the development and where relevant any design statement.

Important Note: on Tuesday 07 November 2023, Comhairle nan Eilean Siar experienced a criminal cyber incident and is working with Police Scotland, the Scottish Government and the National Cyber Security Centre to investigate the matter.

The Online Planning Portal remains unavailable as does our suite of integrated software and hardware systems. In order to enable access by the wider public to application documents and consult upon planning applications, interim systems have been put in place on the temporary website of Comhairle nan Eilean Siar, including a rudimentary facility to display a limited number of documents per application.

Any party wishing to view the application file in full may do so at the offices of Comhairle nan Eilean Siar at Sandwick Road, Stornoway Isle of Lewis, HS1 2BW or Balivanich, Isle of Benbecula. HS7 5LA, ordinarily between 9am and 5pm Monday to Friday (excluding public and local holidays). It is recommended that in advance of visiting an office to view an application that you make an appointment by sending an email to planning@cne-siar.gov.uk



Site Location Plan

Scale 1:2500 @ A4
 Site Centred Co-ordinates
 N.G.R. NB 142925, 934668

REV.	REVISION NOTE	DATE	INITIALS

MCS macIVER
 consultancy
 SERVICES

2A STEINISH
 STORNOWAY
 HS2 0AA
 TEL (01851) 704703
 FAX (01851) 705753

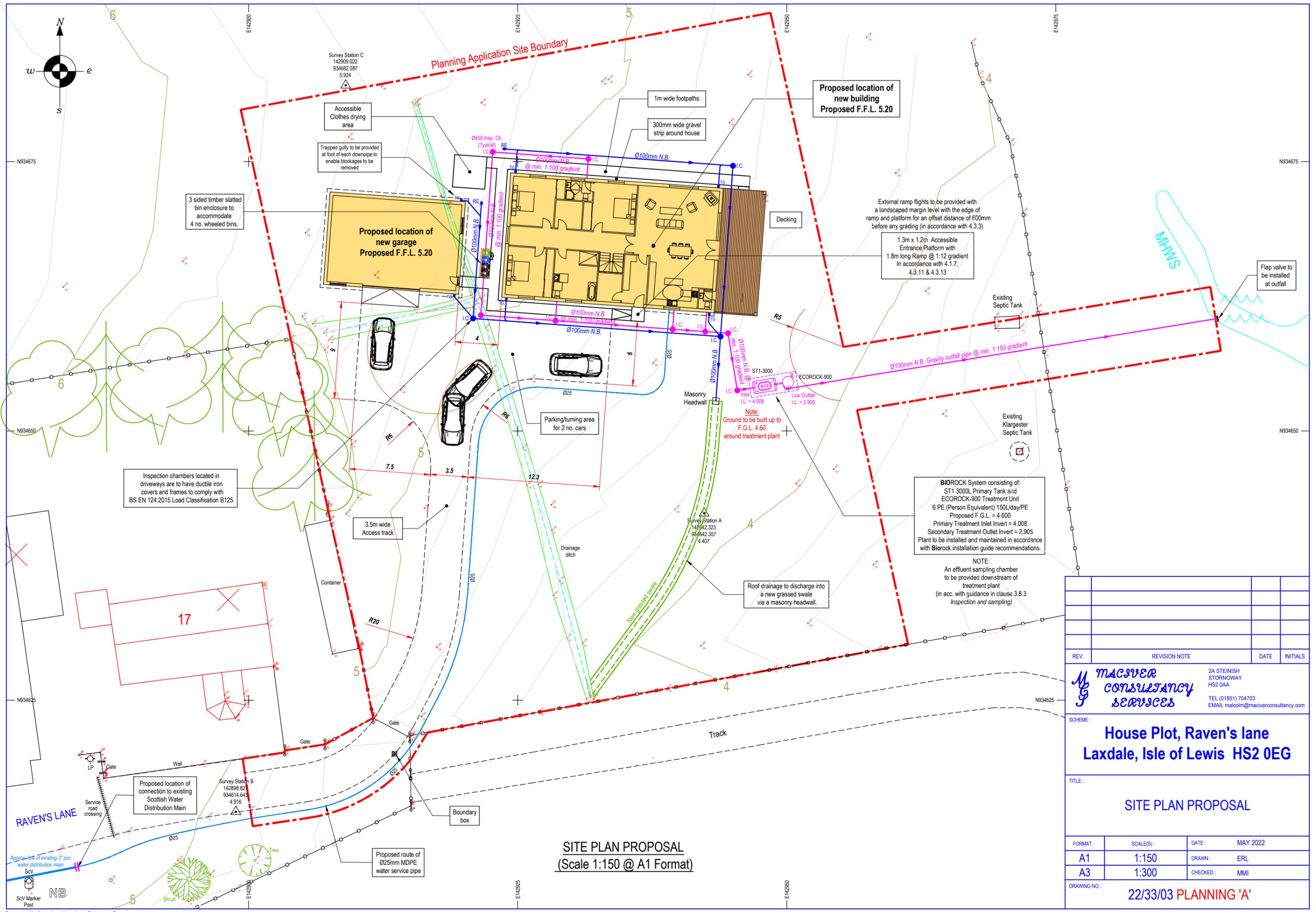
SCHEME : **House Plot, Raven's lane
 Laxdale, Isle of Lewis HS2 0EG**

TITLE : **SITE LOCATION PLAN**

SCALE(S) : **1:2500 @ A4**

DATE : MAY 2022
 DRAWN : ERL
 CHECKED : MMI

DRAWING NO. : **22/33/01 PLANNING 'A'**



SITE PLAN PROPOSAL
(Scale 1:150 @ A1 Format)

REV.	REVISION NOTE	DATE	INITIALS

MACIVER CONSULTANCY SERVICES
2A STEINISH STORNOWAY HS2 0AA
TEL (01851) 704703
EMAIL malcolm@maciverconsultancy.com

SCHEME:
**House Plot, Raven's lane
Laxdale, Isle of Lewis HS2 0EG**

TITLE:
SITE PLAN PROPOSAL

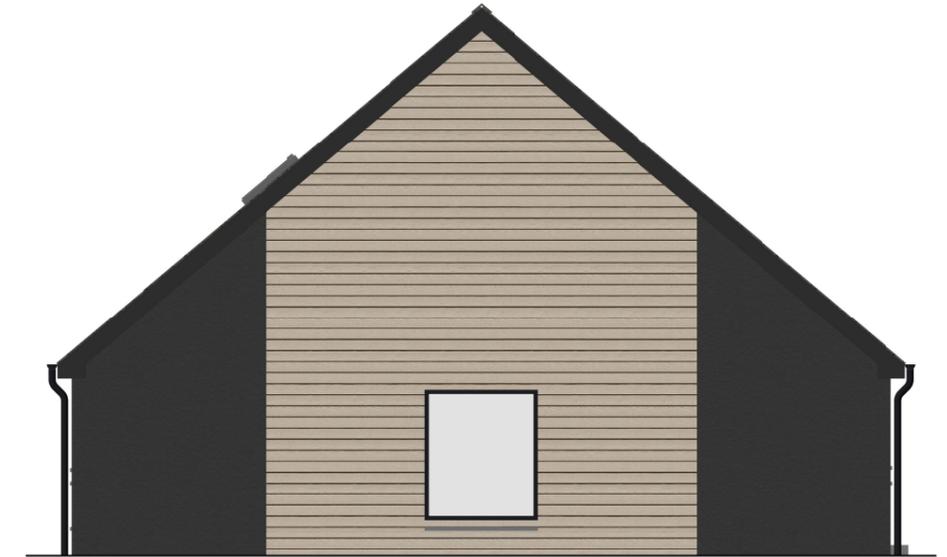
FORMAT:	SCALE(S):	DATE:	MAY 2022
A1	1:150	DRAWN:	ERL
A3	1:300	CHECKED:	MMI

DRAWING NO.: **22/33/03 PLANNING 'A'**

Survey grid aligned and levels to Ordnance Survey.



NORTH ELEVATION
PROPOSED



WEST ELEVATION
PROPOSED



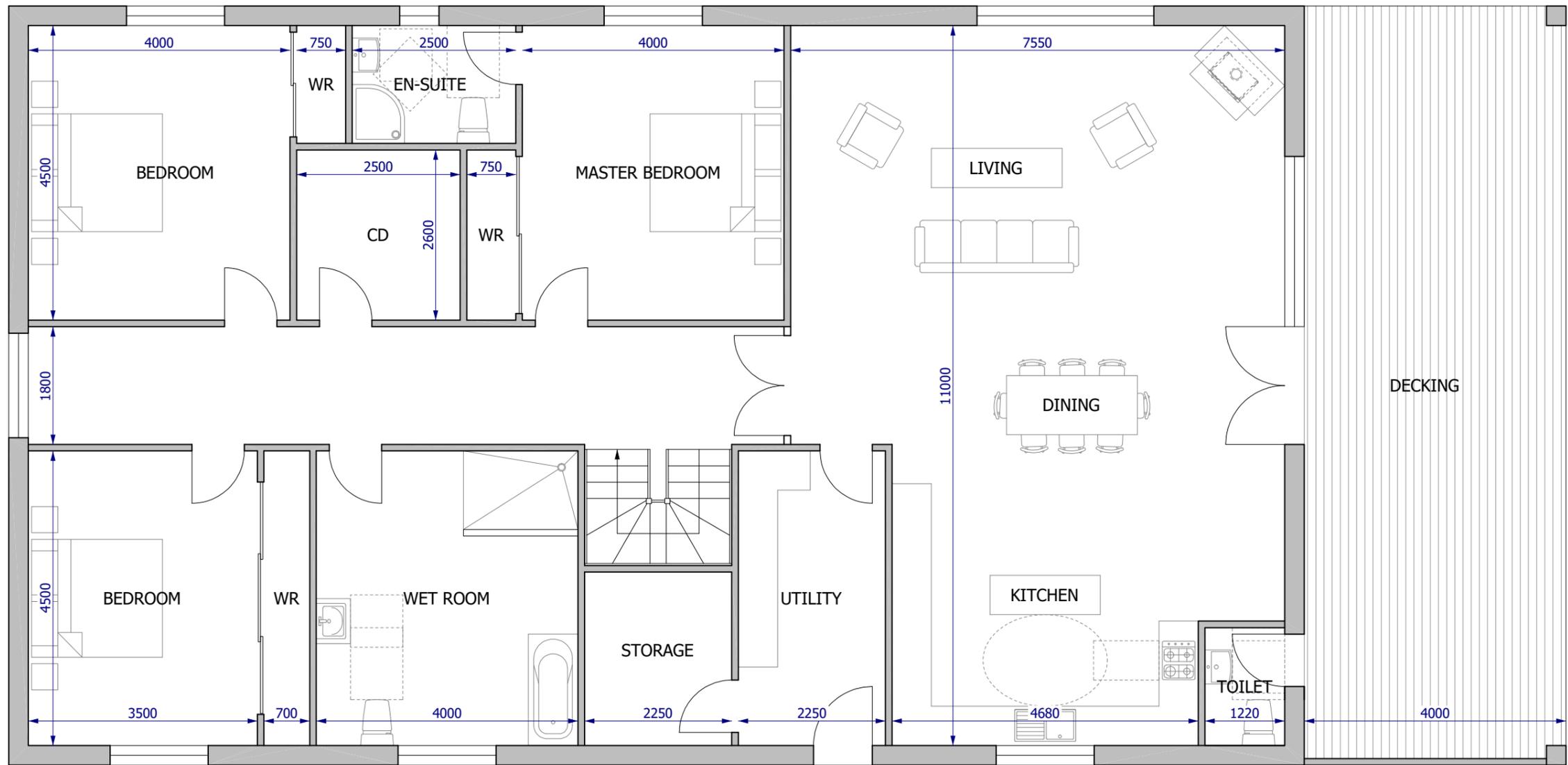
SOUTH ELEVATION
PROPOSED



EAST ELEVATION
PROPOSED

EXTERNAL FINISHES:
WALLS:.....
ROOF:..... ANTIQUE COLOUR COMPOSITE CLADDING &
WINDOWS/DOORS:... SMOOTH CHARCOAL RENDER
 SLATE WITH BLACK FINISH FACIAS AND SOFFITS
 uPVC BLACK FRAME FINISH

00 ISSUED FOR PLANNING APPLICATION		AN	26/07/24	TITLE: ELEVATIONS				DRAWING BY: NICOLSON CAD SERVICES		ON BEHALF OF: MR KEVIN MACNEIL TONG ROAD ISLE OF LEWIS HS2 0JF	
REV	DESCRIPTION	DRW	DATE	PROJECT: PROPOSED NEW BUILD		SHT: 3 of 7	SCALE: 1:100	SIZE: A3	REV: 00	w: nicolsoncad.co.uk t: 01851870167	
										DRG NO: N006-22-PL-03	



GROUND FLOOR PLAN
PROPOSED

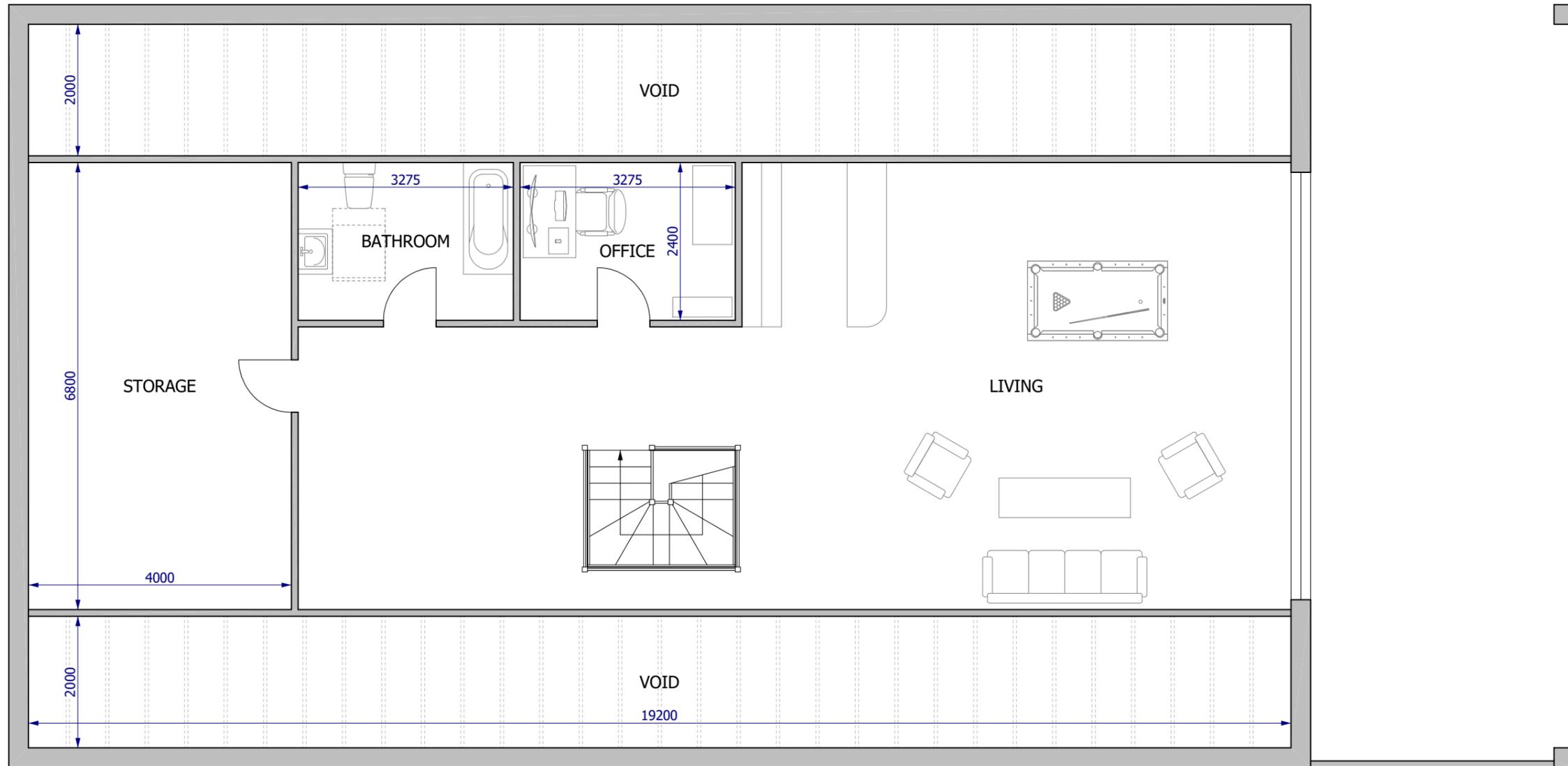
NOTES:
1. ALL DIMENSIONS IN MILLIMETERS U.N.O.

REV	DESCRIPTION	DRW	DATE
00	ISSUED FOR PLANNING APPLICATION	AN	26/07/24

PROJECT: PROPOSED NEW BUILD

TITLE: GROUND FLOOR PLAN			
SHT: 1 of 7	SCALE: 1:75	SIZE: A3	REV: 00

DRAWING BY: NICOLSON CAD SERVICES w: nicolsoncad.co.uk t: 01851870167	ON BEHALF OF: MR KEVIN MACNEIL TONG ROAD ISLE OF LEWIS HS2 0JF
DRG NO: N006-22-PL-01	



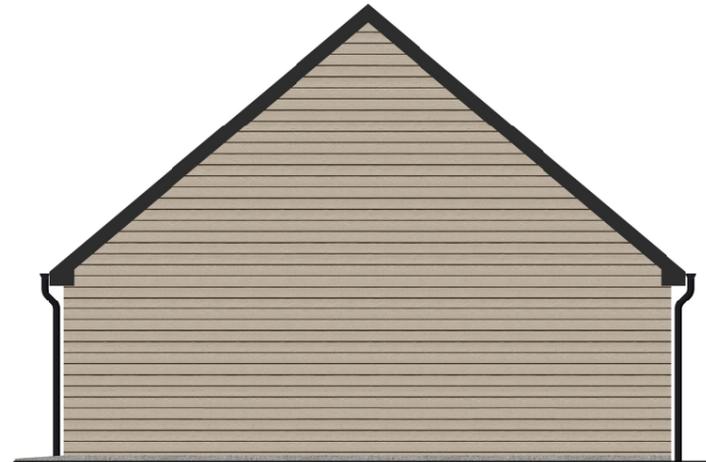
FIRST FLOOR PLAN
PROPOSED

NOTES:
1. ALL DIMENSIONS IN MILLIMETERS U.N.O.

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REV	DESCRIPTION	DRW	DATE	SHT:	SCALE:	SIZE:	REV:	w: nicolsoncad.co.uk t: 01851870167		DRG NO: N006-22-PL-02	
PROJECT: PROPOSED NEW BUILD				2 of 7	1:75	A3	00				



WEST ELEVATION
PROPOSED



SOUTH ELEVATION
PROPOSED



SOUTH WEST PERSPECTIVE
PROPOSED



EAST ELEVATION
PROPOSED



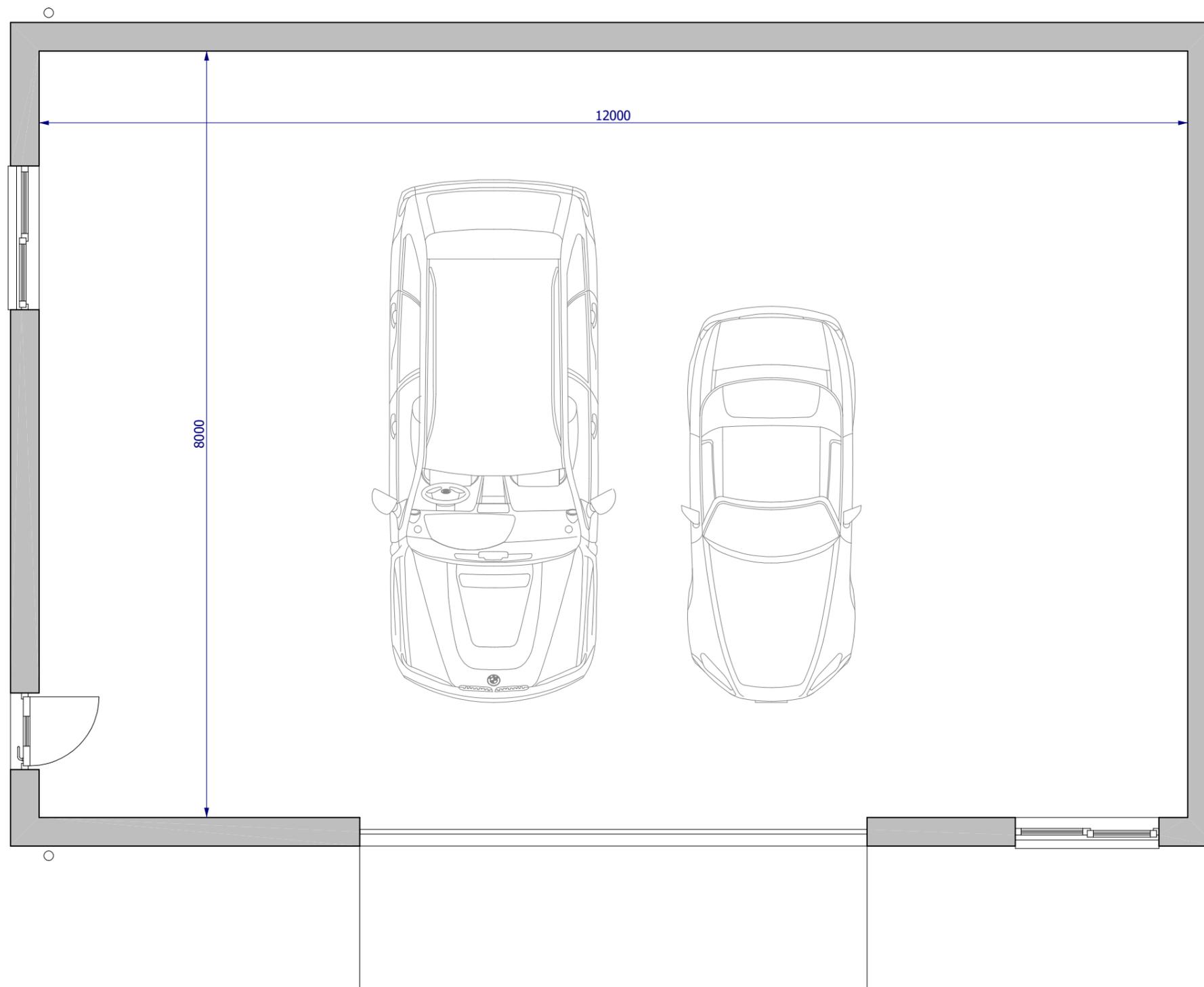
NORTH ELEVATION
PROPOSED



NORTH EAST PERSPECTIVE
PROPOSED

EXTERNAL FINISHES:
WALLS:.....
ROOF:..... ANTIQUE COMPOSITE CLADDING
WINDOWS/DOORS: INSULATED PROFILE SHEET
 uPVC BLACK FRAME FINISH

00 ISSUED FOR PLANNING APPLICATION		AN	26/07/24	TITLE: ELEVATIONS & PERSPECTIVES				DRAWING BY: NICOLSON CAD SERVICES		ON BEHALF OF: MR KEVIN MACNEIL TONG ROAD ISLE OF LEWIS HS2 0JF	
REV	DESCRIPTION	DRW	DATE	PROJECT: PROPOSED NEW BUILD		SHT: 7 of 7	SCALE: 1:100	SIZE: A3	REV: 00	w: nicolsoncad.co.uk t: 01851870167	
DRG NO: N006-22-PL-07											



GROUND FLOOR PLAN
PROPOSED

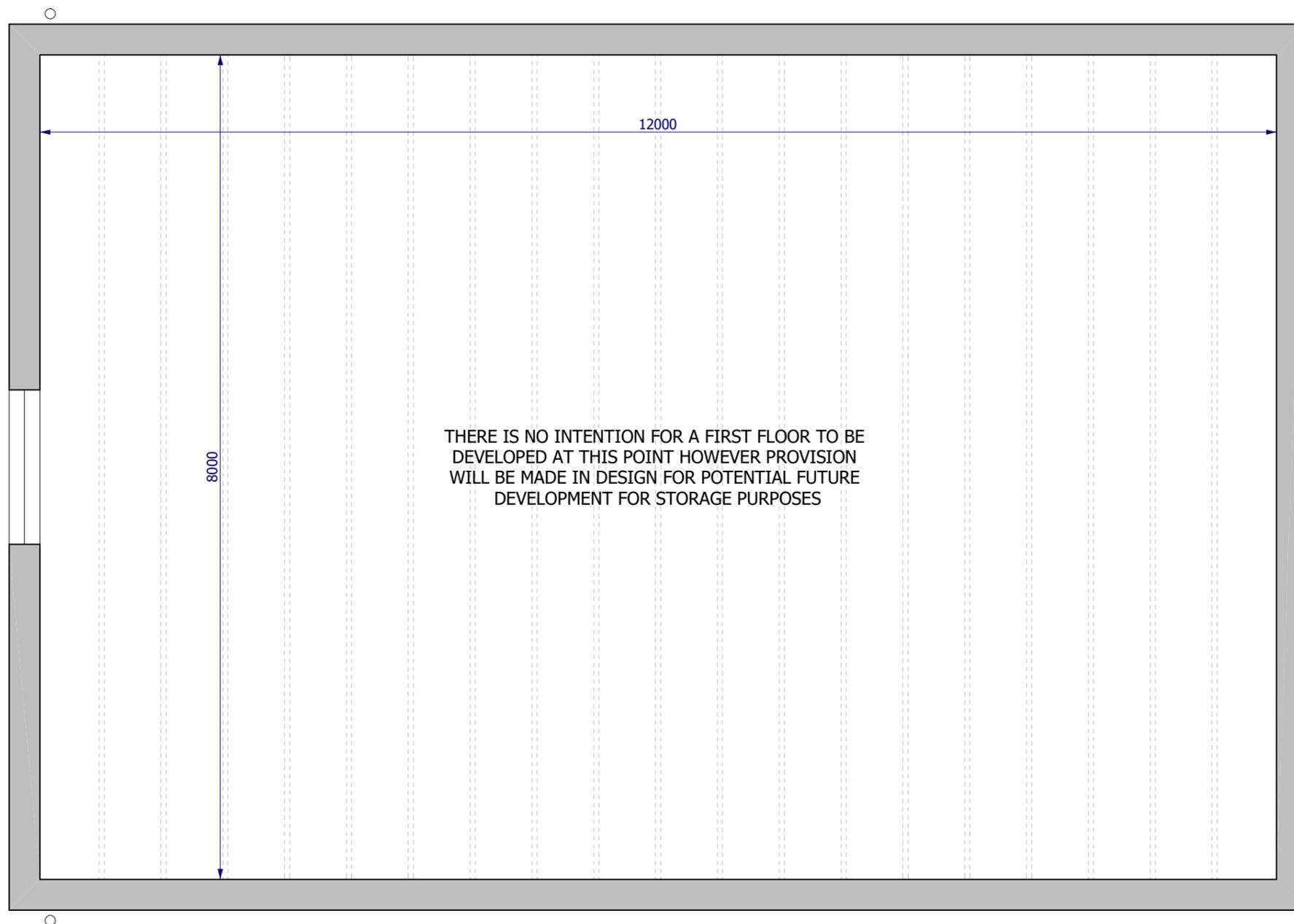
NOTES:
1. ALL DIMENSIONS IN MILLIMETERS U.N.O.

REV	DESCRIPTION	DRW	DATE
00	ISSUED FOR PLANNING APPLICATION	AN	26/07/24

PROJECT:
PROPOSED NEW BUILD

TITLE: GARAGE GROUND FLOOR PLAN			
SHT:	SCALE:	SIZE:	REV:
5 of 7	1:50	A3	00

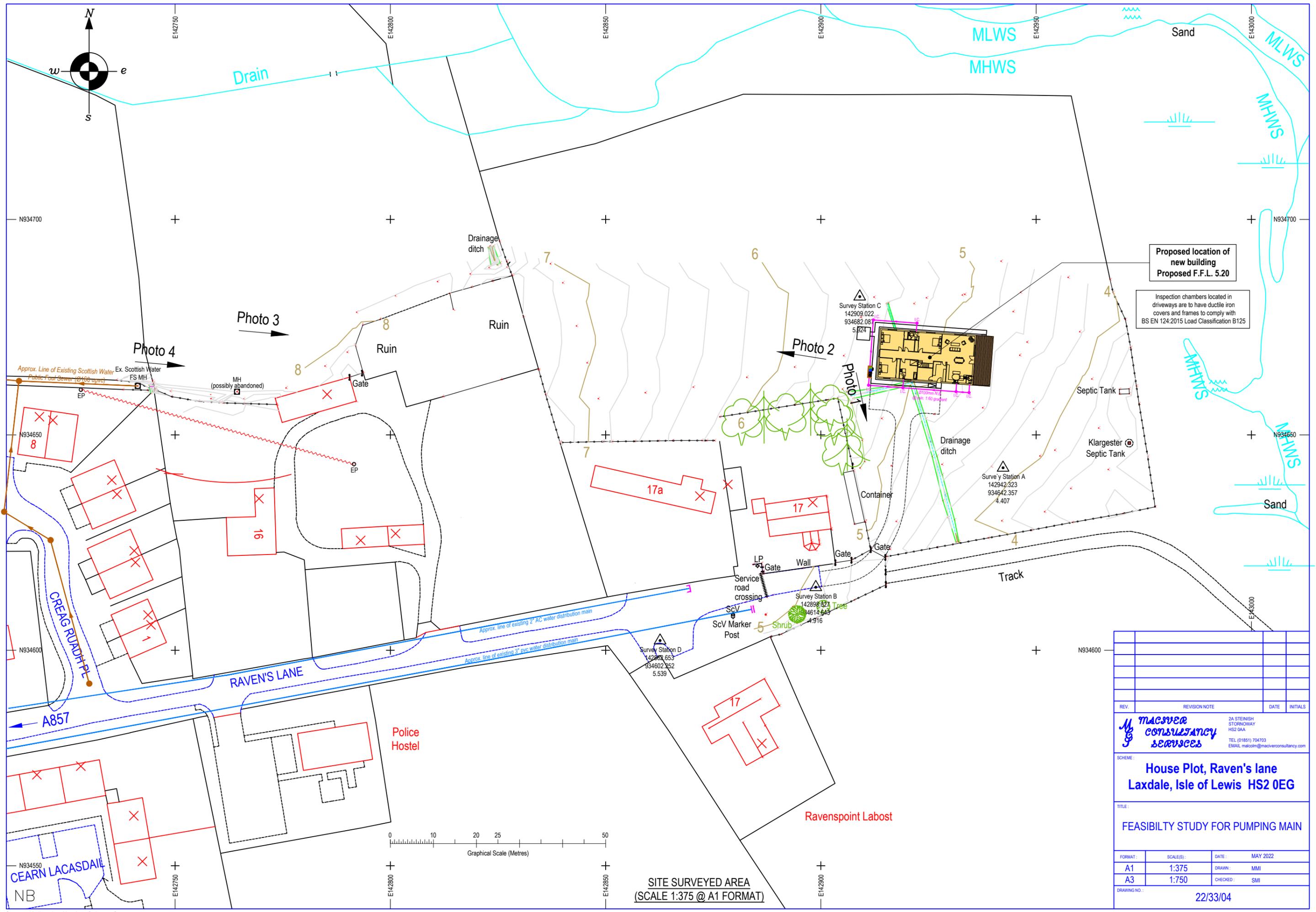
DRAWING BY:	ON BEHALF OF:
 w: nicolsoncad.co.uk t: 01851870167	MR KEVIN MACNEIL TONG ROAD ISLE OF LEWIS HS2 0JF
DRG NO: N006-22-PL-05	



FIRST FLOOR PLAN
PROPOSED

NOTES:
1. ALL DIMENSIONS IN MILLIMETERS U.N.O.

				TITLE: GARAGE FIRST FLOOR PLAN				DRAWING BY: 		ON BEHALF OF: MR KEVIN MACNEIL TONG ROAD ISLE OF LEWIS HS2 0JF	
00	ISSUED FOR PLANNING APPLICATION	AN	26/07/24	SHT: 6 of 7		SCALE: 1:50	SIZE: A3	REV: 00	w: nicolsoncad.co.uk t: 01851870167		
REV	DESCRIPTION	DRW	DATE	PROJECT: PROPOSED NEW BUILD				DRG NO: N006-22-PL-06			



Proposed location of new building
Proposed F.F.L. 5.20

Inspection chambers located in driveways are to have ductile iron covers and frames to comply with BS EN 124:2015 Load Classification B125

REV.	REVISION NOTE	DATE	INITIALS

MACSVEA CONSULTANCY SERVICES
2A STERNSH STORNOWAY HS2 0AA
TEL: (01851) 704703
EMAIL: malcolm@macsveaconsultancy.com

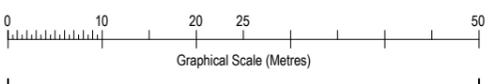
House Plot, Raven's lane Laxdale, Isle of Lewis HS2 0EG

FEASIBILITY STUDY FOR PUMPING MAIN

FORMAT	SCALE(S)	DATE	MAY 2022
A1	1:375	DRAWN	MMI
A3	1:750	CHECKED	SMI

DRAWING NO.: **22/33/04**

SITE SURVEYED AREA
(SCALE 1:375 @ A1 FORMAT)



Survey grid aligned and levels to Ordnance Survey.



MACIVER CONSULTANCY SERVICES LTD



2a Steinish STORNOWAY Isle of Lewis HS2 0AA
Tel: 01851 704703 email: malcolm@maciverconsultancy.com

25 July 2024

Kevin MacNeil
By email

Dear Kevin

RAVENS LANE HOUSE PLOT – PUMPING MAIN FEASIBILITY STUDY

I refer to your request to investigate the option of providing a foul sewer connection from your proposed house to the existing Scottish Water manhole adjacent to the north east corner of the Creag Ruadh Place housing scheme.

I confirm that this option is technically not feasible due to the following reasons:

- The connection requires 200m of pumping main following a tortuous route along difficult terrain.
- The route is through private land. Sewers for Scotland Clause 2.27.1 'Layout and Marking' paragraph 1 states that '*pumping mains shall not be laid in enclosed private land*'.
- The route would be adjacent to existing buildings. Sewers for Scotland Clause 2.27.1 'Layout and Marking' paragraph 2 states that '*pumping mains shall be a minimum of 3m from any building or structure*'. This cannot be achieved on this site.
- The route requires bends at four changes of direction. Sewers for Scotland Clause 2.27.1 'Layout and Marking' paragraph 4 states that '*as far as practicable, pumping mains shall be laid in straight lines*'. This cannot be achieved on this site.
- The terrain is undulating with a steep embankment along part of the north side of the proposed route. Sewers for Scotland Clause 2.27.1 'Layout and Marking' paragraph 14 states that '*a continuously rising pipeline is preferable*'. This cannot be achieved on this site.
- The route is mostly through poor quality infill.
- The pumping main passes through a forested area.

I enclose for your records a copy of the site photographs and a site plan showing location at which the photographs were taken.

Please let me know if you require any further information.

Yours sincerely



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