



# COMHAIRLE NAN EILEAN SIAR

**The Town and Country Planning Scotland Act 1997 – Section 36(1)**

**Town and Country Planning General Development Procedure Order 2013 Regulation 16**

**Planning Register – Part 1**

## **Application Details**

<b>Reference Number</b>	<b>24/00304/PPD</b>
<b>Date registered as valid</b>	<b>21/08/2024</b>
<b>Description of Development</b>	<b>Demolish existing garage, erect new garage and shed</b>
<b>Address or description of location to which the development relates</b>	<b>17 Lewis Street, Stornoway, Isle of Lewis, HS1 2JW</b>
<b>Co-ordinates</b>	<b>N 933 058, E 142 557</b>
<b>Applicant Name</b>	<b>Miss Marion Morrison</b>
<b>Applicant Address</b>	<b>17 Lewis Street, Stornoway, Isle of Lewis, HS1 2JW</b>
<b>Agent name (if applicable)</b>	<b>Mr Innes Smith</b>
<b>Agent Address (if applicable)</b>	<b>141 Newmarket, Stornoway, Isle of Lewis, HS2 0ED</b>

**The above application summary is accompanied by plans and drawings sufficient to describe the development and where relevant any design statement.**

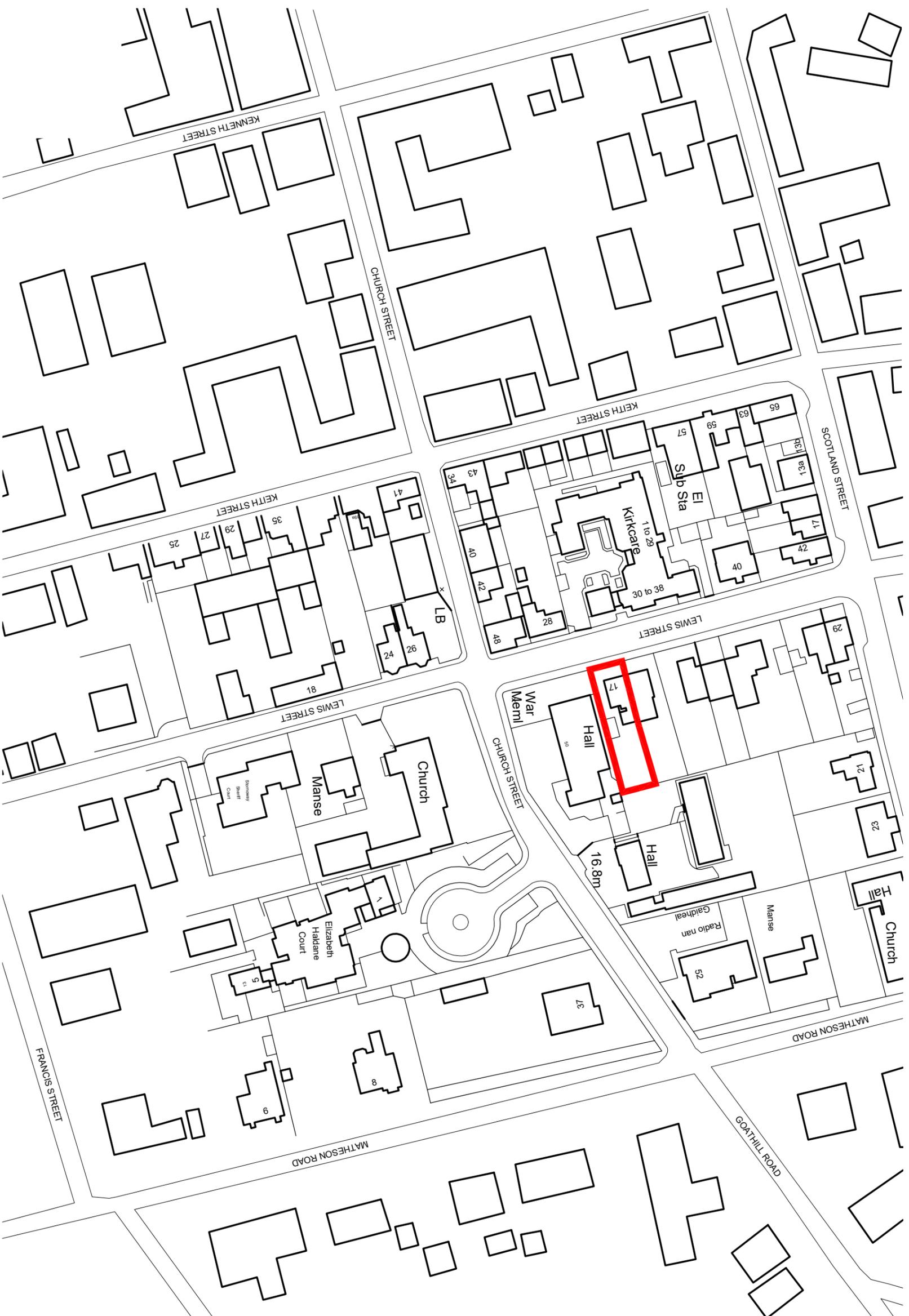
Important Note: on Tuesday 07 November 2023, Comhairle nan Eilean Siar experienced a criminal cyber incident and is working with Police Scotland, the Scottish Government and the National Cyber Security Centre to investigate the matter.

The Online Planning Portal remains unavailable as does our suite of integrated software and hardware systems. In order to enable access by the wider public to application documents and consult upon planning applications, interim systems have been put in place on the temporary website of Comhairle nan Eilean Siar, including a rudimentary facility to display a limited number of documents per application.

Any party wishing to view the application file in full may do so at the offices of Comhairle nan Eilean Siar at Sandwick Road, Stornoway Isle of Lewis, HS1 2BW or Balivanich, Isle of Benbecula. HS7 5LA, ordinarily between 9am and 5pm Monday to Friday (excluding public and local holidays). It is recommended that in advance of visiting an office to view an application that you make an appointment by sending an email to [planning@cne-siar.gov.uk](mailto:planning@cne-siar.gov.uk)

# 17 LEWIS STREET NEW GARAGE

## EXISTING :: LOCATION PLAN



REV.	DESCRIPTION	DATE

**LEGEND**

— Site Boundary

**ISVA**

**INNES SMITH ARCHITECTURE**

Address: 141 Newmarket, Stormoway, Isle of Lewis, 07857761277, innes@innesarchitect.com

Phone No: 07857761277

Email: innes@innesarchitect.com

DO NOT SCALE FROM DRAWINGS. ALL DIMENSIONS SHOULD BE CHECKED ON SITE AND DISCREPANCIES NOTIFIED TO THE ARCHITECT.

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**PROJECT:** 17 Lewis Street New Garage

Stormoway,  
Isle of Lewis  
HS1 2JW

**CLIENT:** Marion Morrison

**DESCRIPTION:**  
**EXISTING:**

**LOCATION PLAN**

**STATUS:** PLANNING

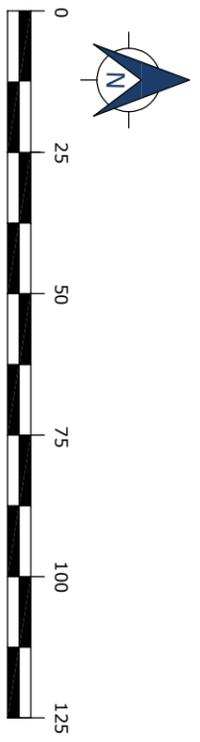
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DATE: 05/08/2024

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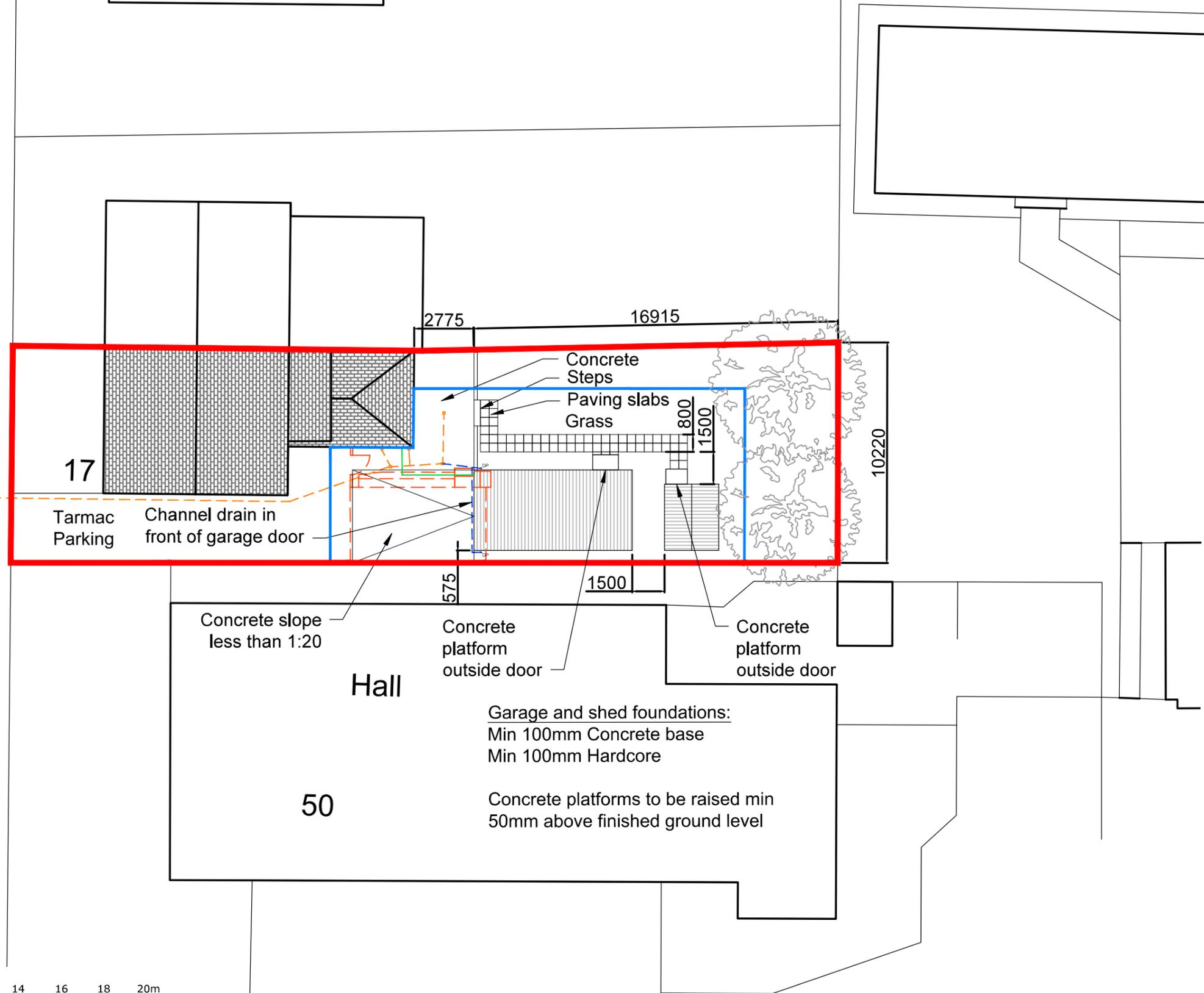
**DRAWING NO.:** 24/008/001



# 17 LEWIS STREET NEW GARAGE

## PROPOSED :: SITE PLAN

LEWIS STREET



17

Tarmac Parking

Channel drain in front of garage door

2775

16915

575

1500

10220

Concrete Steps  
Paving slabs  
Grass

800

1500

Concrete slope less than 1:20

Hall

Concrete platform outside door

Concrete platform outside door

50

Garage and shed foundations:  
Min 100mm Concrete base  
Min 100mm Hardcore

Concrete platforms to be raised min 50mm above finished ground level

REV.	DESCRIPTION	DATE

### LEGEND

- Site Boundary
- Area of work
- - - Existing Drainage
- - - Proposed Drainage
- - - Proposed Power (taken from house)



**INNES SMITH ARCHITECTURE**

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Email: innesmitharchitecture@gmail.com

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PROJECT: 17 Lewis Street New Garage  
Stornoway, Isle of Lewis HS1 2JW

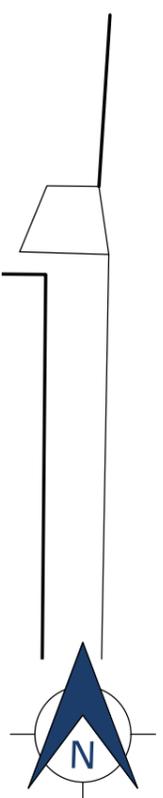
CLIENT: Marion Morrison

DESCRIPTION:  
PROPOSED:  
SITE PLAN

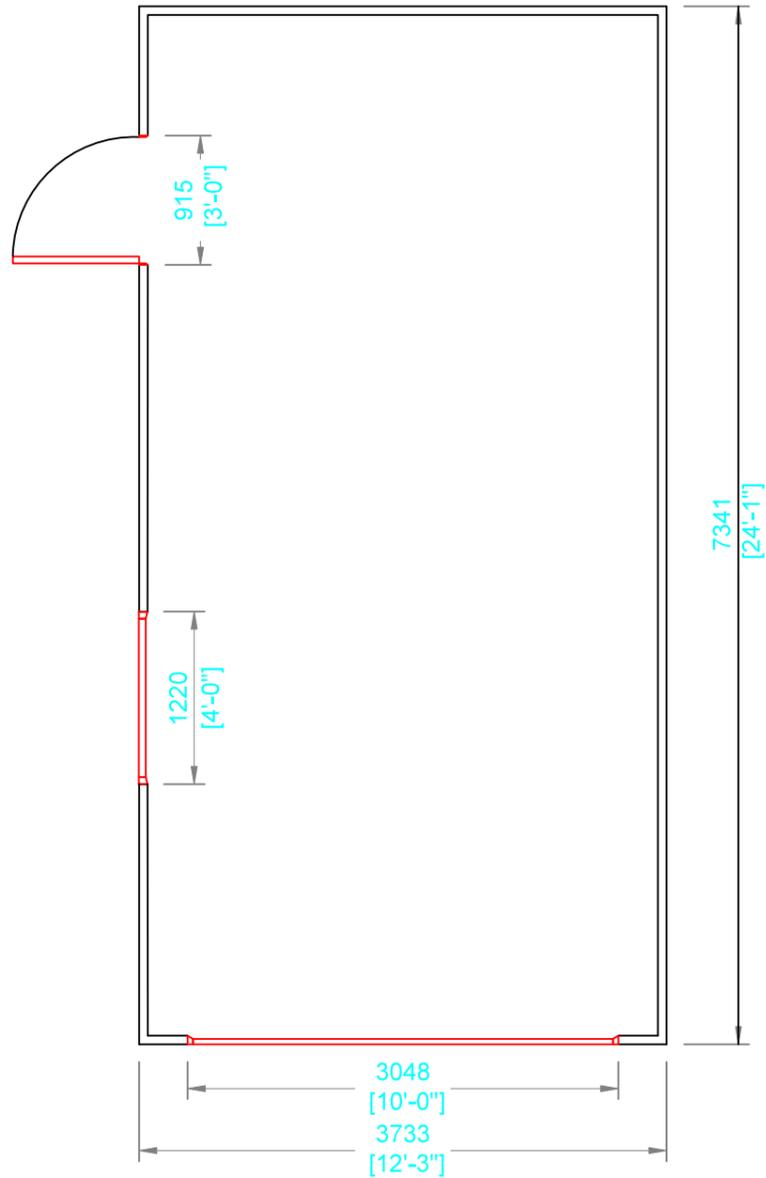
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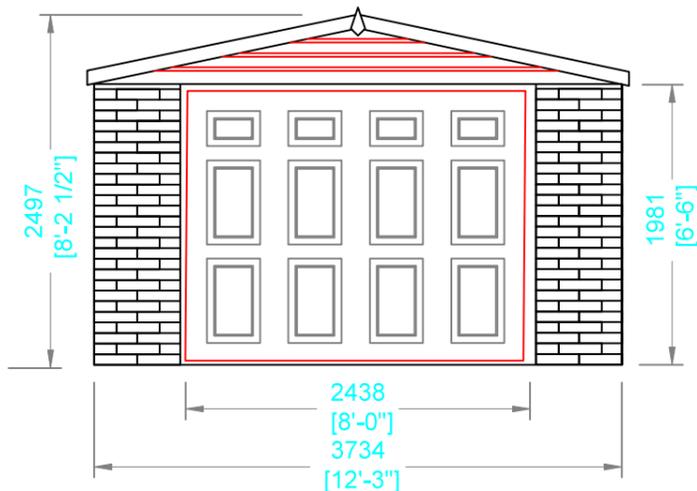
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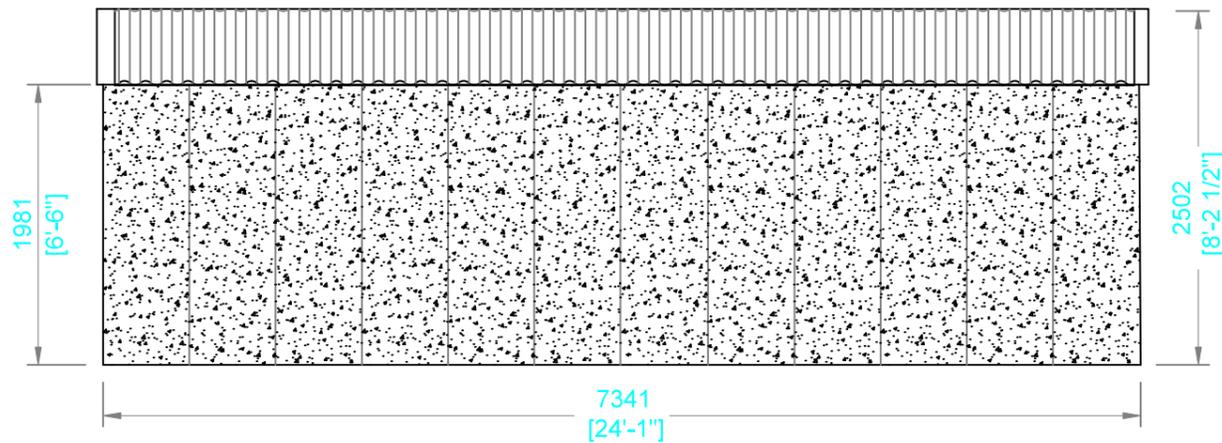
**PLAN**



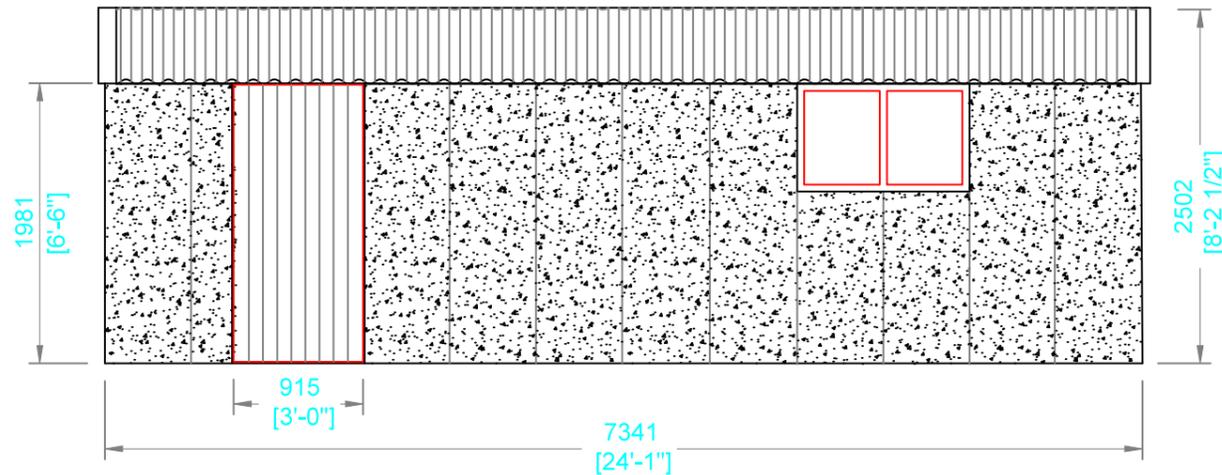
**FRONT ELEVATION**



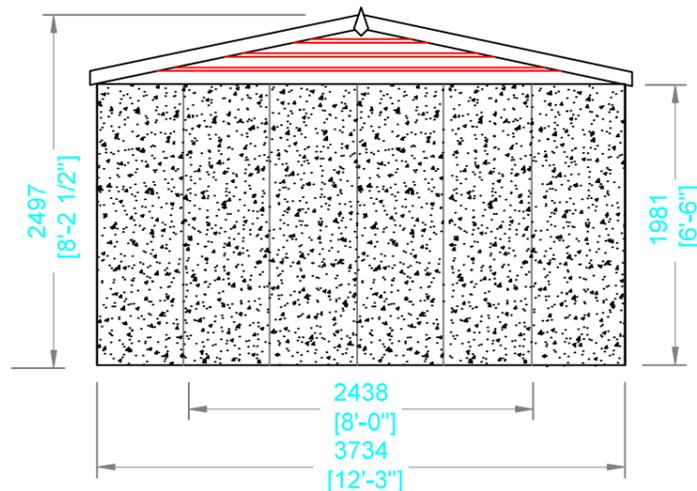
**RH ELEVATION**



**LH ELEVATION**



**REAR ELEVATION**



**BUILDING SPECIFICATION**

STYLE:	Apex	
ROOF TYPE:	Standard	
LENGTH:	7341mm	[24'-1"]
WIDTH:	3734mm	[12'-3"]
EAVES HEIGHT:	1981mm	[6'-6"]
RIDGE HEIGHT:	2502mm	[8'-2 1/2"]

**CONCRETE PANELS**

To be reinforced with 6mm bars & connected with 3no 6mm galv. steel bolts. Designed for 25N/mm<sup>2</sup> at 28 days.

HEIGHT:	1981mm	[6'-6"]
THICKNESS:	62mm	[2 1/2"]
FINISH: LEFT:	Multispar	
REAR:	Multispar	

**EXTERNAL WALLS**

FINISH: FRONT:	Brick Fronts	
RIGHT:	Multispar	

**ROOF COVERING**

Supported by trusses at 1.83m centers fixed to panels

COLOUR:	Mocha Brown	
PROFILE:	5" Corrugated	
MATERIAL:	Cement Fibre	

**FASCIAS / WALL BUILD-UP**

MATERIAL:	White PVCu	
DEPTH:	50 mm	

**GARAGE DOOR [ 1 ]**

STYLE:	Georgian	
COLOUR:	White	
FINISH:	Plastisol Coated Steel	
WIDTH:	2438mm	[8'-0"]
HEIGHT:	1981mm	[6'-6"]
TYPE:	Up and Over	

**WINDOWS [ 1 ]**

STYLE:	Fixed	
COLOUR:	White	
FINISH:	PVCu	
WIDTH:	1219mm	[4'-0"]
HEIGHT:	761mm	[2'-6"]
LOCATIONS:	Left	

**PERSONNEL DOOR [ 1 ]**

STYLE:	Vertical	
COLOUR:	White	
FINISH:	Plastisol Coated Steel	
WIDTH:	915mm	[3'-0"]
HEIGHT:	2134mm	[7'-0"]
LOCATION:	Left	

Rev	Date	Revision

PROJECT:  
**Proposed Garage  
 26 Whin Place  
 East Kilbride  
 G74 3XS**

CUSTOMER / CLIENT:  
 Miss Marion Morrison

DRAWING:  
 Plan, Elevations

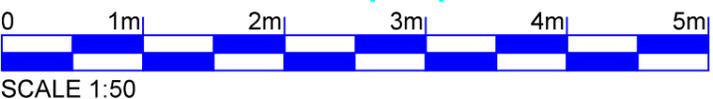
**HANSON GARAGES**

Warren Road, Green Lane Industrial Park, Featherstone,  
 West Yorkshire WF7 6EL

Tel: 01977 695111 Fax: 01977 695151

E-Mail: [sales@hansongarages.co.uk](mailto:sales@hansongarages.co.uk)  
 Web: [www.hansongarages.co.uk](http://www.hansongarages.co.uk)

SCALE: A3@1:50	DATE: 17.06.24	DRAWN: M.S	DWG NO. A24x12	REV -
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### BUILDING SPECIFICATION

STYLE:	Standard	
ROOF TYPE:	Apex	
LENGTH:	3373mm	[10'1"]
WIDTH:	2515mm	[8'3"]
EAVES HEIGHT:	1981mm	[6'6"]
RIDGE HEIGHT:	2375mm	[7'9.5"]

### CONCRETE PANELS

To be reinforced with 6mm bars & connected with 3no 6mm galv. steel bolts. Designed for 25N/mm<sup>2</sup> at 28 days.

HEIGHT:	1981mm	[6'6"]
THICKNESS:	62mm	[2½"]
FINISH:	LEFT: Multispar	
	REAR: Multispar	

### EXTERNAL WALLS

FINISH:	FRONT: Multispar
	RIGHT: Multispar

### ROOF COVERING

Supported by trusses at 1.83m centers fixed to panels

COLOUR:	Mocha Brown
PROFILE:	5" Corrugated
MATERIAL:	Cement Fibre

### FASCIAS / WALL BUILD-UP

MATERIAL:	White PVCu
DEPTH:	50 mm [ ]

### GARAGE DOOR [ 0 ]

STYLE:	
COLOUR:	
FINISH:	
WIDTH:	[ ]
HEIGHT:	[ ]
TYPE:	

### WINDOWS [ 1 ]

STYLE:	Fixed
COLOUR:	White
FINISH:	PVCu
WIDTH:	609mm [2'0"]
HEIGHT:	261mm [2'6"]
LOCATIONS:	Right

### PERSONNEL DOOR [ 1 ]

STYLE:	Vertical
COLOUR:	White
FINISH:	Powder Coated Steel
WIDTH:	915mm [3'0"]
HEIGHT:	1981mm [6'6"]
LOCATION:	Front

Rev	Date	Revision

PROJECT:  
**Proposed Garage**  
**26 Whin Place**  
**East Kilbride**  
**G74 3XS**

CUSTOMER / CLIENT:  
**Miss Marion Morrison**

DRAWING:  
**Plan, Elevations**

**HANSON**  
**GARAGES**

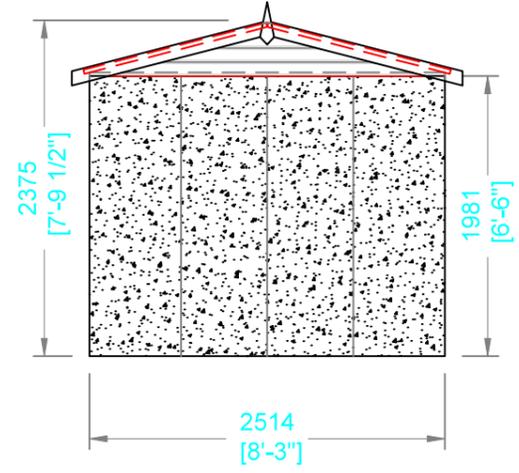
Warren Road, Green Lane Industrial Park, Featherstone,  
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Tel: 01977 695111 Fax: 01977 695151

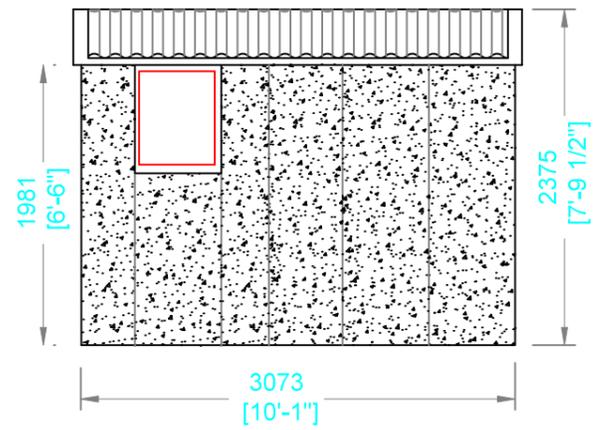
E-Mail: [sales@hansongarages.co.uk](mailto:sales@hansongarages.co.uk)  
 Web: [www.hansongarages.co.uk](http://www.hansongarages.co.uk)

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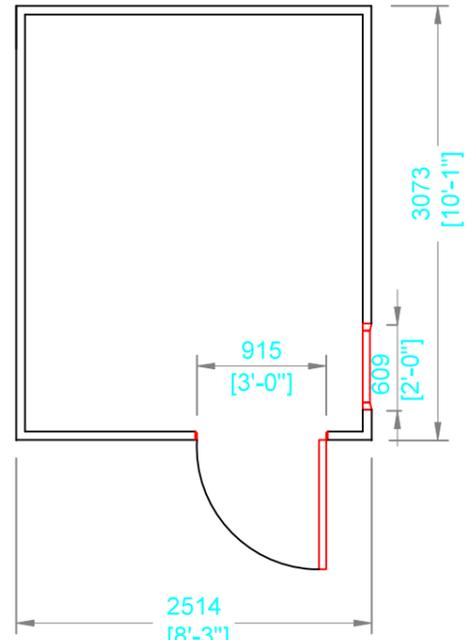
### REAR ELEVATION



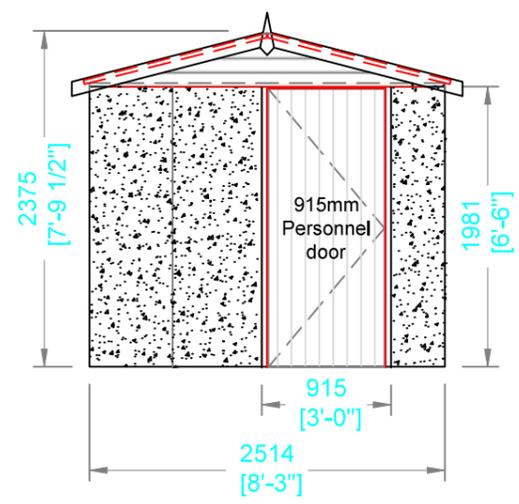
### RH ELEVATION



### PLAN



### FRONT ELEVATION



### LH ELEVATION

